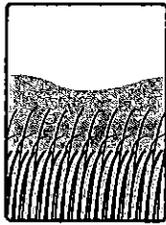


Permit Packet

**Attached / Detached  
Garages, Pole Barns,  
Sheds, Carports,  
Satellite Dishes /  
Tower Antennas,  
Sports Courts**



## Zoning & Building Permits Checklist Form

### Additions, Alterations, & Accessory Structures - Residential (including but not limited to: Additions, Alterations, Attached & Detached Garages, Pole Barns, Sheds, Carports, Gazebos, Decks/Porches, Pool/Hot Tub/Spa, Fences, Driveways, Sports Courts, and Satellite Dishes/Residential Tower Antennas)

#### ALL PERMITS SHALL BE OBTAINED PRIOR TO ANY WORK COMMENCING

The Community Development Department will only accept a complete permit application submittal that includes the following items:

- 1) \_\_\_\_\_ **FORM: VPP-BI-0031-F "Checklist Form – Additions, Alterations & Accessory Structures – Residential"** (THIS FORM, Pages 1 & 2): Please complete, sign and return with your application materials.
- 2) \_\_\_\_\_ **FORM: VPP-BI-0001-F "Standard Application Form"**: Fill out completely including signature.
- 3) \_\_\_\_\_ **FORM: "Cautionary Statement" SBD-5823**: (Page 3 only) Must be signed by the owner of the property.
- 4) \_\_\_\_\_ **CONSTRUCTION PLANS OR BLUEPRINTS**: Submit one of the following:
  - Addition**: Two complete sets of construction plans
  - Alteration**: Two complete sets of construction plans
  - Accessory Structure**: Two complete sets of construction plans OR FORM: VPP-BI-0022-F "Accessory Structure Wall Section"
    - Deck/Porch**: Two complete sets of construction plans
    - Driveway**: no construction plans required
    - Fence**: no construction plans required
    - Pool/Hot Tub/Spa, Above Ground**: copy of all brochures for pool, heater, filter, pump
    - Pool/Hot Tub/Spa, In Ground**: Two complete sets of construction plans
- 5) \_\_\_\_\_ **SITE PLAN OR PLAT OF SURVEY**: Submit one of the following (Not required for Interior Alterations):
  - Site Plan**: See VPP-BI-0033-I "Site Plan Requirements" and VPP-BI-0020-I "Sample Site Plan".
  - OR**
  - Plat of Survey**: A Plat of Survey, as prepared by a Wisconsin Registered Land Surveyor, shall be required IF the property is located within or abuts a shoreland, wetland, floodplain, navigable waterway, or if verification of setbacks is questionable.
- 6) \_\_\_\_\_ **FORM: VPP-BI-0005-F "Electric, Plumbing, HVAC, Exterior (Utility) Plumbing Permit Application"**: IF ANY OF THESE WILL BE INSTALLED OR ALTERED, YOU MUST APPLY FOR THE APPLICABLE PERMITS. If the Village is unable to verify contractor certification through the State of Wisconsin, you may be required to provide a copy of each certification card.

NOTE: Fill out a separate form for each sub-contractor/trade:

- Electrical Permit Application**: Electrical permits will only be issued to a Wisconsin licensed Master Electrician. Submit completed form with appropriate signature.
  - Interior Plumbing Permit Application**: Plumbing permits will only be issued to a Wisconsin Certified Master Plumber. Submit completed form with appropriate signature.
  - HVAC Permit Application**: HVAC permits will only be issued to a Wisconsin Certified HVAC Contractor or HVAC Qualifier. Submit completed form with appropriate signature
  - Exterior Plumbing (Utility Connection) Permit Application**: Exterior Plumbing permits will only be issued to a Wisconsin Certified Utility Contractor, Master Plumber, or Master Plumber-Restricted. Submit completed form with appropriate signature.
- 7) \_\_\_\_\_ **PROOF OF OWNERSHIP**: If the Village cannot verify current ownership through Kenosha County (example: recent purchases, deeds in error, etc) you may be required to provide a copy of recorded warranty deed or quit claim deed.
  - 8) \_\_\_\_\_ **ANY OTHER ITEMS AS MAY BE REQUIRED DUE TO COVENANT OR OTHER RESTRICTIONS**:  
May include:
    - Erosion Control Permit, or any other required permits as determined by the Village
    - Kenosha County Sanitary Permit or letter of compliance: IF the property is served by a private on-site sewage disposal system, a permit or compliance statement must be submitted with an application for Additions or Alterations.
    - written approval from Architectural Control Committee or Developer.
    - other ( \_\_\_\_\_ )

**Checklist for Additions, Alterations & Accessory Structures (Continued)**

I, \_\_\_\_\_ (Print Name), understand that all work shall be done in accordance with the conditionally approved plans and all other local, State or Federal regulations that may be amended from time to time and furthermore I understand the following:

- \* Each applicant (Owner and Contractor) is charged with the knowledge of Village Zoning Ordinances, Village Municipal Ordinances, and other County, State or Federal requirements related to the proposed project. Copies of the text of the Village Ordinances or portions thereof are available for sale, copying, or inspection upon request. Any statements made, assurance given, or permit erroneously issued contrary to the relevant Ordinances are null and void.
- \* All applications shall have zoning, building, sanitary, and erosion control approval before a zoning or building permit can be issued.
- \* All special assessments shall be satisfied before a zoning or building permit can be issued. Contact the Village Treasurer at the Village of Pleasant Prairie.
- \* Building and zoning permits may require up to ten (10) working days to be processed. If during the Village's review of the application, information is missing or additional information is required the permit will be put on hold until the information is received. The contractor/owner will be contacted and the 10 day review period will re-start when all required information is received.
- \* It is the responsibility of the contractor to call the Village of Pleasant Prairie, Building Inspection Department for required inspections. (Minimum of 2 business days notice required.) A re-inspection fee will be charged each time an inspection is required once the inspector has made two (2) previous inspections and the inspection has failed for a second time.
- \* It is illegal for anyone to occupy a structure, including people residing or placing/storing any personal property within the structure, until a Final Inspection passes. (Maximum fine \$500.00 per day.) All structures shall be inspected and approved prior to issuance of Final Certificate of Compliance for Occupancy.
- \* All related Fees (permits, etc) shall be tripled for work that has commenced prior to issuance of permits.

\_\_\_\_\_  
Signature (Owner/Contractor)

\_\_\_\_\_  
Date

(Part of Ply 4 for Applicants)

### Cautionary Statement to Owners Obtaining Building Permits

101.65(lr) of the Wisconsin Statutes requires municipalities that enforce the Uniform Dwelling Code to provide an owner who applies for a building permit with a statement advising the owner that:

If the owner hires a contractor to perform work under the building permit and the contractor is not bonded or insured as required under s. 101.654 (2) (a), the following consequences might occur:

(a) The owner may be held liable for any bodily injury to or death of others or for any damage to the property of others that arises out of the work performed under the building permit or that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.

(b) The owner may not be able to collect from the contractor damages for any loss sustained by the owner because of a violation by the contractor of the one- and two- family dwelling code or an ordinance enacted under sub. (1) (a), because of any bodily injury to or death of others or damage to the property of others that arises out of the work performed under the building permit or because of any bodily injury to or death of others or damage to the property of others that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.

### Cautionary Statement to Contractors for Projects Involving Building Built Before 1978

If this project is in a dwelling or child-occupied facility, built before 1978, and disturbs 6 sq. ft. or more of paint per room, 20 sq. ft. or more of exterior paint, or involves windows, then the requirements of ch. DHS 163 requiring Lead-Safe Renovation Training and Certification apply. Call (608)261-6876 or go to the Wisconsin Department of Health Services' lead homepage for details of how to be in compliance

### Wetlands Notice to Permit Applicants

You are responsible for complying with state and federal laws concerning the construction near or on wetlands, lakes, and streams. Wetlands that are not associated with open water can be difficult to identify. Failure to comply may result in removal or modification of construction that violates the law or other penalties or costs. For more information, visit the Department of Natural Resources wetlands identification web page or contact a Department of Natural Resources service center.

### Additional Responsibilities for Owners of Projects Disturbing One or More Acre of Soil

I understand that this project is subject to ch. NR 151 regarding additional erosion control and stormwater management and will comply with those standards.

Owner's Signature: \_\_\_\_\_ Date: \_\_\_\_\_

### Contractor Credential Requirements

All contractors shall possess an appropriate contractor credential issued by the Wisconsin Division of Industry Services. Contractors are also required to only subcontract with contractors that hold the appropriate contractor credentials.



# Zoning & Building Inspection Permits Standard Permit Application

(PLEASE PRINT NEATLY)

Job Address: \_\_\_\_\_ Tax Parcel No.: \_\_\_\_\_

Subdivision, CSM, Lot #: \_\_\_\_\_

Owner's Name: \_\_\_\_\_ Phone #: \_\_\_\_\_

Mailing Address: \_\_\_\_\_ Fax #: \_\_\_\_\_

City, State, Zip: \_\_\_\_\_ Email: \_\_\_\_\_

Owner acting as General Contractor (must sign and submit Cautionary Statement Form)  
--OR--

General Contractor (Company Name: \_\_\_\_\_)

Company Contact Name: \_\_\_\_\_ Phone #: \_\_\_\_\_

Mailing Address: \_\_\_\_\_ Fax #: \_\_\_\_\_

City, State, Zip: \_\_\_\_\_ Email: \_\_\_\_\_

\*Contractor's Wisconsin Certification # \_\_\_\_\_ (\*Required for all Residential Additions, Alterations, and attached Accessory Structures)

### 1) Proposed Project:

- ACCESSORY STRUCTURE: (please circle all that apply)  
garage / shed / deck / porch / gazebo / pool / hot tub / fence / driveway / residential communication structure/ other: \_\_\_\_\_
- ADDITION
- ALTERATION OR REMODEL
- OTHER: \_\_\_\_\_

### 2) Brief Project Description: (ex. sunroom addition, basement finish, new fence, replace driveway, etc.)

\_\_\_\_\_  
\_\_\_\_\_

### 3) Estimated Cost of Project: \$ \_\_\_\_\_

4) Proposed Start Date: \_\_\_\_\_ Proposed Completion Date: \_\_\_\_\_

### 5) Proposed Dimensions:

Building Size (Length x Width) \_\_\_\_\_ ft. x \_\_\_\_\_ ft. = \_\_\_\_\_ sq. ft. Building Height \_\_\_\_\_ ft.

Fence Height \_\_\_\_\_ ft. Fence Material: \_\_\_\_\_ Above Ground Pool Height \_\_\_\_\_ ft.

NOTE: ANY WORK STARTED WITHOUT THE REQUIRED PERMITS OR CONNECTION FEES MAY RESULT IN TRIPLED PERMIT FEE AMOUNTS. The undersigned hereby makes application for this permit to do the work herein described and as shown on the attached Plat of Survey/Site Plan and construction plans, and hereby agrees that all of the work will be done in accordance with all applicable codes and ordinances of the State of Wisconsin, the County of Kenosha and the Village of Pleasant Prairie.

Owner/Contractor Name (PLEASE PRINT): \_\_\_\_\_

Owner/Contractor Signature: \_\_\_\_\_ Date: \_\_\_\_\_



**PLEASANT PRAIRIE**

Parent A/P # (if applic) \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_ Permit A/P # \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_

**Permit Application for Single Family and Two-Family Residential  
Electric, Plumbing, HVAC, or Exterior (Utility) Plumbing**

PLEASE FILL OUT A SEPARATE FORM FOR EACH CONTRACTOR

(PLEASE PRINT)

Job Address: \_\_\_\_\_ Tax Parcel No.: \_\_\_\_\_

Sub, CSM, Lot #: \_\_\_\_\_

Owner's Name: \_\_\_\_\_ Phone#: \_\_\_\_\_

Mailing Address: \_\_\_\_\_ City, State, Zip: \_\_\_\_\_

Electric  Plumbing  HVAC  Utility (Exterior Plumbing) ESTIMATED VALUE: \$ \_\_\_\_\_

WISCONSIN LICENSE # \_\_\_\_\_ Email: \_\_\_\_\_

Company Name: \_\_\_\_\_ Phone #: \_\_\_\_\_

Mailing Address: \_\_\_\_\_ City, State, Zip: \_\_\_\_\_

ELECTRIC	INTERIOR PLUMBING	HVAC	EXTERIOR (UTILITY) PLUMBING
<input type="checkbox"/> New Electric Service for a new home _____ amp new home (SFR): \$180.00 each new home (2FR): \$360.00 each <input type="checkbox"/> Additional Electric sub-panel \$50.00 per panel <input type="checkbox"/> Generator & Transfer Switch _____ amp \$50.00 per set <input type="checkbox"/> Electric Service Update: FROM _____ amp TO _____ amp And/or: FROM: _____ OH _____ UG TO: _____ OH _____ UG \$100.00 per panel <input type="checkbox"/> Electric Service Repair \$50.00 <input type="checkbox"/> Electric Wiring Extension / Rewiring: _____ sq ft being remodeled or added \$.10/sq ft, min. \$50.00 <input type="checkbox"/> Electric for Swimming Pool, Hot Tub, or Pond \$50.00	# Water Closet/Bidets: _____ # Hose Bibs: _____ #Dishwashers: _____ # Tubs/Showers: _____ # Laundry Trays: _____ # Clothes Washers: _____ # Ejector Pit: _____ # Garbage Disposals: _____ # Sinks: _____ # Floor Drains: _____ # Water Heaters: _____ # Water Softeners: _____ Lawn Sprinkler (AVB): _____ # Other ( ): _____ <input type="checkbox"/> TOTAL FIXTURES: _____ \$10.00 per fixture: new home (SFR): min \$150.00 new home (2FR): min \$300.00 existing home: min \$50.00 <input type="checkbox"/> City of Kenosha Temporary Water Card \$100.10 each, plus above listed Total Fixture fee.	<input type="checkbox"/> New Heating Unit(s) for a new home BTU: _____ new home (SFR): \$150.00 new home (2FR): \$300.00 plus \$25.00 each additional heating unit Existing Home: <input type="checkbox"/> Additional Heating Unit BTU: _____ \$50.00 per unit Describe: _____ <input type="checkbox"/> Furnace BTU: _____ \$50.00 per unit <input type="checkbox"/> Heating Pipe Extension: _____ sq ft being remodeled or added \$.10/sq ft, min. \$50.00 <input type="checkbox"/> Air Conditioner \$50.00 per unit	<input type="checkbox"/> Road Opening/Work in the Right-of-Way \$150.00 <input type="checkbox"/> Water Lateral \$75.00 each <input type="checkbox"/> Sanitary Sewer Lateral \$75.00 each <input type="checkbox"/> Storm Sewer Lateral \$75.00 each <div style="border: 2px solid black; padding: 5px;">                     Special Assessment Connection Fees:                       Property Record Maintenance Fee: (applies to HVAC &amp; PLUMB/ Electric not associated with a construction permit)  <input type="checkbox"/> \$15.00                      Sump grant #: _____                      TOTAL FEES DUE: _____                 </div>

Re-inspection fee \$50. Failure to call for inspection fee \$75. Triple permit fee for work started without permit.

Permits may require up to ten (10) working days to be processed.

NOTE: The undersigned Wisconsin Certified Contractor makes application for this permit on behalf of the property owner and therefore takes responsibility for all work for which this permit is issued for in accordance with all applicable State of Wisconsin Codes and all Village of Pleasant Prairie Codes.

WI Certified Contractor Name (PLEASE PRINT): \_\_\_\_\_

WI Certified Contractor Signature: \_\_\_\_\_ Date: \_\_\_\_\_



## Plan Requirements & Construction Guidelines Accessory Structures - Residential

(Attached & Detached Garages, Pole Barns, Sheds, Carports, Gazebos, Sports Courts, and Satellite Dishes/Residential Tower Antennas)

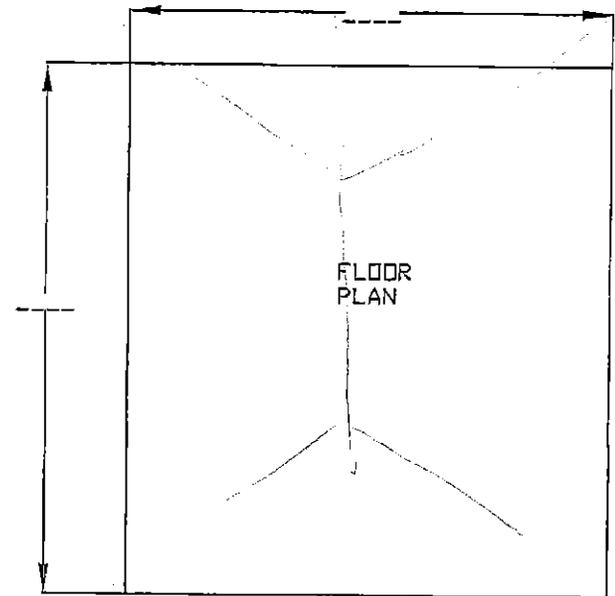
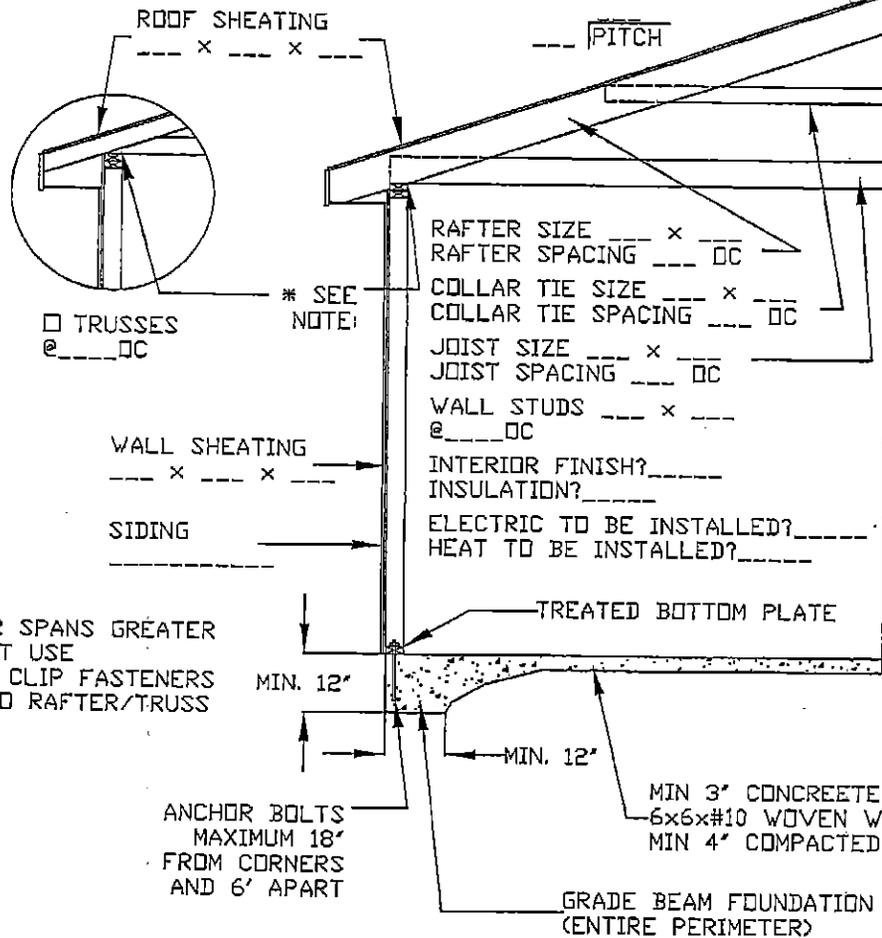
The information contained herein is not the official ordinances, rules or regulations, but is put together for your benefit to assist you with your proposed project.

### A: Plan Requirements:

1. Floor Plans indicating the use of the accessory structure.
2. A side section showing the proposed type of materials to be used.
3. Height of accessory structure from grade to peak of roof.
4. Note shall be made on the plan that indicates the use of the accessory structure.
5. All plans shall be prepared with a recognized engineering or architectural scale, include a north arrow and abutting street right-of-ways.
6. Any other information as may be required by the Community Development Department to ensure compliance with all local, state or federal regulations.
7. NOTE: Street right-of-way is property boundary line.

### B: Construction Guidelines:

1. Foundation and footings:
  - a. All detached accessory structures, new or relocated, over 250 square feet shall be supported at minimum with a 12 inch thick by 12 inch wide continuous perimeter grade beam footing, or be designed through structural analysis.
  - b. No part of the footing shall be placed upon unprepared fill or organic soil (black dirt, vegetation, mud, etc.)
  - c. All accessory structures intended for vehicle parking and/or storage shall have floors constructed of concrete or other material that is impermeable to petroleum products.
  - d. All slab-on-grade concrete floors shall be at least 4 inches thick and placed over at least 4 inches of granular fill.
  - e. Any pit or opening in the floor shall be properly guarded and safe according to methods of standard practice.
2. Construction shall conform to the Uniform Dwelling Code Comm Chapters 20 through 25.



\* NOTE: FOR SPANS GREATER THAN 6 FEET USE MECHANICAL CLIP FASTENERS AT PLATE TO RAFTER/TRUSS CONNECTION

- INDICATE THE FOLLOWING ON FLOOR PLAN ABOVE
- 1) DIMENSION (LxW)
  - 2) LOCATION AND SIZE OF WINDOWS AND DOORS
  - 3) JOIST, TRUSS AND/OR RAFTER DIRECTION
  - 4) LENGTH AND SIZE OF ALL HEADERS
    - a) AT SERVICE DOOR
    - b) AT OVERHEAD DOOR
    - c) AT WINDOWS

HEIGHT OF BUILDING FROM GRADE TO PEAK \_\_\_\_\_

# VILLAGE OF PLEASANT PRAIRIE

## ACCESSORY STRUCTURE WALL SECTION

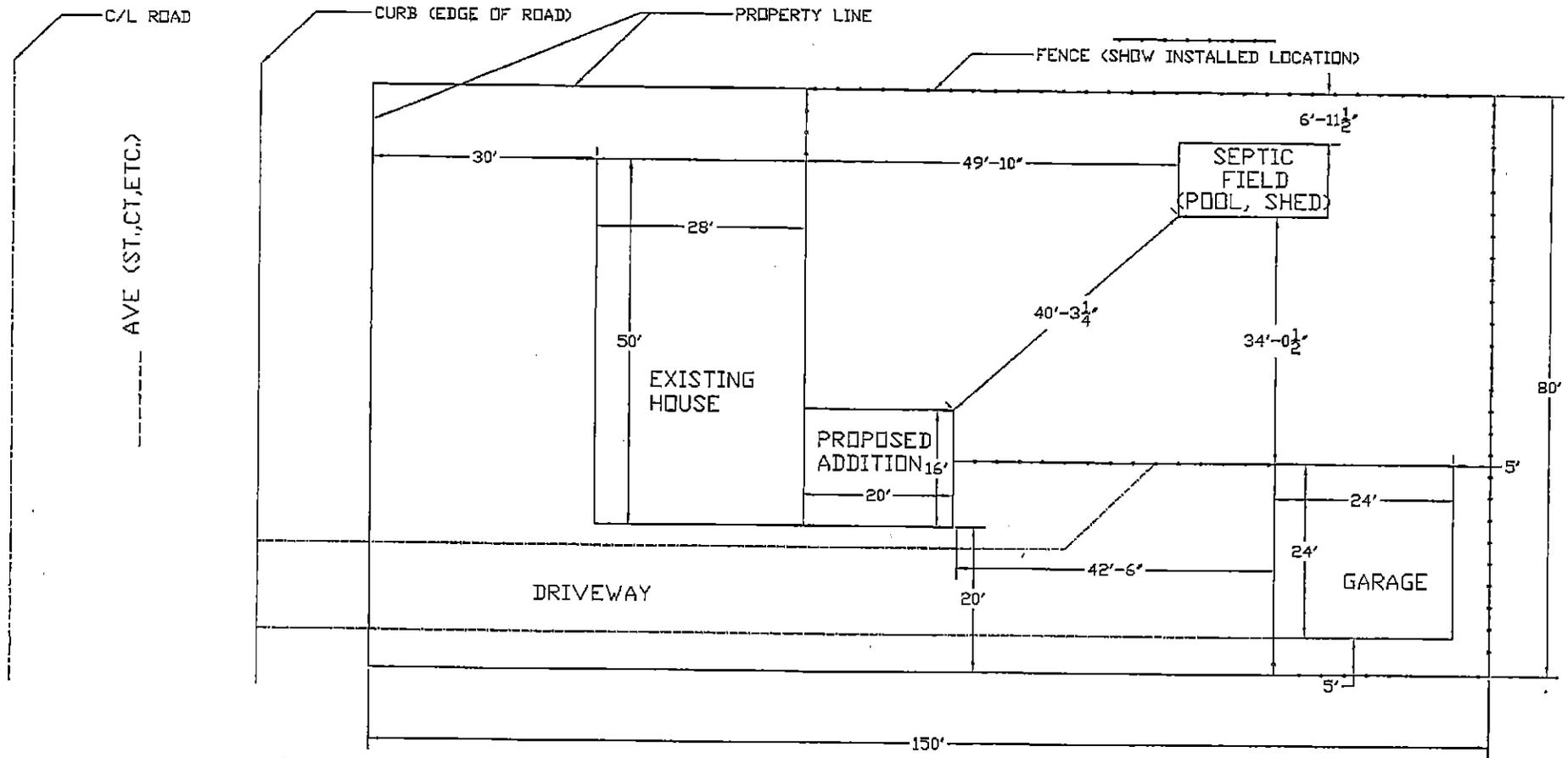
DATE: 2/10/05  
REVISED:

DRAWN BY: KEN ROBERS

SCALE: NTS

VPP-BI-0022-F

# EXAMPLE ONLY



**VILLAGE OF PLEASANT PRAIRIE**  
 EXAMPLE SITE PLAN

DATE: OCTOBER 2004  
 REVISED:  
 SCALE: 1" = 1'

DRAWN BY: KEN ROBERS  
 VPP-BI-0020-I



## Plat of Survey Requirements Information Sheet

The Plat of Survey must be prepared by a Wisconsin Registered Land Surveyor and shall comply with the requirements of Section 236.34 of the Wisconsin Statutes, as amended from time to time and all the requirements of the Village Ordinances.

### A Plat of Survey shall include the following:

1. Property site boundaries and adjacent lands that accurately identify the site location including a graphic scale and north arrow. Names and addresses of the applicant, owner of the site, and Wisconsin Registered Land Surveyor.
2. Existing and proposed road right-of-way lines and road names on site and adjacent to the site. Location of Lakes, streams, wetlands, shore lands, channels, ditches and other water courses and/or the 100-year floodplain on and immediately adjacent to the site, where applicable.
3. Location and dimensions of storm water drainage systems and/or direction of natural drainage patterns on and immediately adjacent to the site, including utility easements and the location of any wells, septic fields or holding tanks and their distances from lot lines and structures.
4. Existing and proposed elevations at the property corners and at all corners of the proposed structure(s), and benchmark elevation.
5. All existing and proposed street, side, rear, shore yard and wetland setbacks from all existing or proposed structures to the lot lines or ordinary high water mark. All street yard setbacks of structures on adjacent lots shall be shown to determine building site lines.
6. The location of the permanent residential driveway with setbacks to the side property lines. The driveway shall be a minimum of 5 feet from the property line and shall not be placed over sanitary sewer and water lines that may be brought to the house.
7. Location of construction entrances (graveled driveway) including the location of on-site parking area for construction vehicles (graveled and paved parking area) if different from the residential driveway.
8. The location of all existing and proposed structures with grades as required by following Village of Pleasant Prairie Municipal Code.
  - a. Existing grade levels at property lines will not be altered or changed to an appreciable extent in relation to grade levels of adjoining property. Grade is defined as the highest elevation taken at top of foundation wall. Finish grade assumed to be .66 feet below top of wall elevation.
  - b. Plat of Survey for new residential dwellings will reference the following elevation points: 1) Crown of road at center line of lot; 2) Existing elevations at new dwelling corners; 3) Highest point of proposed foundation; and 4) Finish grade at foundation of abutting residential structures (finished first floor elevations are also acceptable).
  - c. Top of Foundation elevations will conform to the following: 1) Foundation elevation shall be one to two feet above centerline of roads; 2) Foundation may be set higher where existing lot grade is more than two feet above road grade by the Village Building Inspector; and 3) Where abutting dwellings are above and below proposed elevations, and average of two existing grades will be used to set new structure grade.

EXAMPLE: Existing Dwelling #1 = 650'  
Existing Dwelling #2 = 656'  
Grade for new Dwelling = 653'
  - d. Elevation may be set by the Village Building Inspector, with the approval of the Community Development Director, in certain cases.
9. Any additional information that may be required by the Village Board, Plan Commission, Building Inspection or Community Development Departments.

**ZONING REQUIREMENTS FOR  
RESIDENTIAL DETACHED GARAGES, GARDENING, TOOL OR STORAGE  
SHEDS, AND GAZEBOS; AND  
OTHER FARM RELATED ACCESSORY STRUCTURES, EXCLUDING SILOS  
AND STORAGE BINS WHICH ARE ONLY ALLOWED WITHIN SPECIFIC  
AGRICULTURAL DISTRICTS**

The information contained herein is not the official ordinances, rules or regulations, but is put together for your benefit to assist you with your proposed project.

No person shall construct, repair, replace, install, enlarge, or alter any detached accessory structure specified below unless a valid zoning permit for said structure has first been issued pursuant to Chapter 420 of the Village Municipal Code and such permit has neither expired nor been suspended or revoked. If work has commenced or is completed without proper permits, the Village may take the appropriate actions to prosecute the violation.

**Detached garages; gardening, tool or storage sheds; and/or gazebos constructed of canvas, plastic or other similar materials are prohibited.**

**In the C-2, A-1, A-2, A-3, APO, AGO, R-1, R-2, R-3, R-4, R-4.5, R-5, R-6, R-7, R-8 and R-12 Zoning Districts the following is required:**

1. **If the structure is 150 square feet or less in area (first floor area not to exceed 150 square feet), then the following shall be required:**
  - Said structure shall only be located in a side yard, rear yard or rear street yard;
  - Said structure shall be a minimum of 10 feet from a principal structure;
  - Said structure shall be a minimum of
    - five feet from any other accessory structure that is less than 1,000 square feet in size;
    - 10 feet from any other accessory structure that is between 1,001 and 2,000 square feet in size; and
    - 25 feet from any other accessory structure that is greater than 2,000 square feet in size;
  - Said structure shall be a minimum of three feet from any side or rear lot line;
  - Said structure shall be a minimum of five feet from any rear street lot line adjacent to a Village right-of-way and shall be a minimum of 15 feet from any rear street lot line adjacent to a county or state right-of-way;
  - Said structure shall not exceed 15 feet in height as measured from the grade at the base of the structure to the highest roof ridge;
  - Said structure shall not be used for human habitation or animal shelter, except in the A-1, A-2, A-3, APO and AGO Districts where said structure may be used for an animal shelter for the animals which are only allowed in the said Agricultural Districts;
  - Said structure shall be set back a minimum of 25 feet from the ordinary high-water mark of a navigable waterway.
  - Said structure shall be located a minimum of 25 feet from wetlands on said property and at least 10 feet from wetlands on adjacent properties; and
  - In no case shall an individual detached accessory structure exceed the first floor square foot area of the principal structure (excluding an attached garage or deck) or exceed the height of the principal structure on said property.
  
2. **If the structure is between 151 square feet and 600 square feet in area (first floor area not to exceed 600 square feet), then the following shall be required:**

- Said structure shall only be located in a side yard, rear yard or rear street yard;
- Said structure shall be located a minimum of 10 feet from a principal structure;
- Said structure shall be a minimum of
  - five feet from any other accessory structure that is less than 1,000 square feet in size;
  - 10 feet from any other accessory structure that is between 1,001 and 2,000 square feet in size; and
  - 25 feet from any other accessory structure that is greater than 2,000 square feet in size;
- Said structure shall be located a minimum of five feet from any side or rear lot line;
- Said structure shall be a minimum of 10 feet from any rear street lot line and shall be a minimum of 20 feet from any rear street lot line adjacent to a county or state right-of-way;
- Said structure shall not exceed 15 feet in height as measured from the grade at the base of the structure to the highest roof ridge;
- Said structure shall not be used for human habitation or animal shelter, except in the A-1, A-2, A-3, APO and AGO Districts where said structure may be used for an animal shelter for the animals which are only allowed in the said Agricultural Districts;
- Said structure shall be set back a minimum of 25 feet from the ordinary high-water mark of a navigable waterway, except a minimum of a 50 foot setback is required from the ordinary high watermark of Lake Michigan.
- Said structure shall be located a minimum of 25 feet from wetlands on said property and at least 10 feet from wetlands on adjacent properties; and
- In no case shall an individual detached accessory structure exceed the first floor square foot area of the principal structure (excluding an attached garage or deck) or exceed the height of the principal structure on said property.

3. **If the structure is between 601 square feet and 1,000 square feet in area (first floor area not to exceed 1,000 square feet), then the following shall be required:**

- Said structure shall only be located in a side yard, rear yard or rear street yard; except if located within a A-1, A-2, APO or AGO Districts;
- Said structure shall be a minimum of 10 feet from a principal structure;
- Said structure shall be a minimum of
  - five feet from any other accessory structure that is less than 1,000 square feet in size;
  - 10 feet from any other accessory structure that is between 1,001 and 2,000 square feet in size; and
  - 25 feet from any other accessory structure that is greater than 2,000 square feet in size;
- Said structure shall be a minimum of 10 feet from any side or rear lot line;
- Said structure shall be a minimum of 20 feet from any rear street lot line adjacent to a Village right-of-way and shall be a minimum of 40 feet from any rear street lot line adjacent to a county or state right-of-way;
- Said structure shall not be used for human habitation or animal shelter, except in the A-1, A-2, A-3, APO and AGO Districts where said structure may be used for an animal shelter for the animals which are only allowed in the said Agricultural Districts;
- Said structure shall not exceed 20 feet in height, except as provided below:
  - in the A-3 District where the lot is greater than five acres, said structure shall not exceed 50 feet in height;

- in the A-1, A-2, APO or AGO Districts where the lot is a minimum of five acres, said structure shall not exceed 50 feet in height;
- in the A-1, A-2, APO or AGO Districts where the lot is greater than 10 acres, said structure shall not exceed 100 feet in height;
- Said structure shall be set back a minimum of 25 feet from the ordinary high-water mark of a navigable waterway except a minimum of a 50 foot setback is required from the ordinary high watermark of Lake Michigan;
- Said structure shall be located a minimum of 25 feet from wetlands on said property and a minimum of 10 feet from wetlands on adjacent properties; and
- In no case shall an individual detached accessory structure exceed the first floor square foot area of the principal structure (excluding an attached garage or deck); except in the A-1, A-2, A-3, APO and AGO Districts.
- In no case shall an individual detached accessory structure exceed the height of the principal structure on said property; except in the A-1, A-2, A-3, APO and AGO District.

4. **If the structure is between 1,001 square feet and 1,500 square feet in area (first floor area not to exceed 1,500 square feet), then the following shall be required:**

- The lot shall be a minimum of 20,000 square feet;
- Said structure shall only be located in a side yard or rear yard, except if located within an A-1, A-2, APO or AGO District;
- Said structure shall be a minimum of 15 feet from a principal structure;
- Said structure shall be a minimum of
  - five feet from any other accessory structure that is less than 1,000 square feet in size;
  - 10 feet from any other accessory structure that is between 1,001 and 2,000 square feet in size; and
  - 25 feet from any other accessory structure that is greater than 2,000 square feet in size;
- Said structure shall be a minimum of 15 feet from any side or rear lot line;
- Said structure shall not be used for human habitation or animal shelter, except in the A-1, A-2, A-3, APO and AGO Districts where said structure may be used for an animal shelter for the animals which are only allowed in the said Agricultural Districts;;
- Said structure shall not exceed 20 feet in height, except as provided below:
  - in the A-3 District where the lot is greater than five acres, said structure shall not exceed 50 feet in height;
  - in the A-1, A-2, APO or AGO Districts where the lot is a minimum of five acres, said structure shall not exceed 50 feet in height;
  - in the A-1, A-2, APO or AGO Districts where the lot is greater than 10 acres, said structure shall not exceed 100 feet in height;
- Said structure shall be set back a minimum of 25 feet from the ordinary high-water mark of a navigable waterway except a minimum of a 50 foot setback is required from the ordinary high watermark of Lake Michigan;
- Said structure shall be located a minimum of 25 feet from wetlands on said property and a minimum of 10 feet from wetlands on adjacent properties; and
- In no case shall an individual detached accessory structure exceed the first floor square foot area of the principal structure (excluding an attached garage or deck); except in the A-1, A-2, A-3, APO and AGO Districts.
- In no case shall an individual detached accessory structure exceed the height of the principal structure on said property; except in the A-1, A-2, A-3, APO and AGO Districts.

5. **If the structure is between 1,501 square feet and 2,000 square feet in area (first floor area not to exceed 2,000 square feet), then the following shall be required:**

- The lot shall be a minimum of one acre (43,560 square feet);
- Said structure shall only be located in a side yard or rear yard, except if located within an A-1, A-2, APO or AGO District;
- Said structure shall be a minimum of 15 feet from a principal structure;
- Said structure shall be a minimum of
  - five feet from any other accessory structure that is less than 1,000 square feet in size;
  - 10 feet from any other accessory structure that is between 1,001 and 2,000 square feet in size; and
  - 25 feet from any other accessory structure that is greater than 2,000 square feet in size;
- Said structure shall be a minimum of 15 feet from any side or rear lot line in any C-1, R-1, R-2, R-3, R-4, R-4.5, R-6 and R-6 District and a minimum of 25 feet from any side or rear lot line in any A-1, A-2, A-3, APO and AGO District.
- Said structure shall not be used for human habitation or animal shelter, except in the A-1, A-2, A-3, APO and AGO Districts where said structure may be used for an animal shelter for the animals which are only allowed in the said Agricultural Districts;
- Said structure shall not exceed 20 feet in height, except as provided below:
  - in the A-3 District where the lot is greater than five acres, said structure shall not exceed 50 feet in height;
  - in the A-1, A-2, APO or AGO Districts where the lot is a minimum of five acres, said structure shall not exceed 75 feet in height;
  - in the A-1, A-2, APO or AGO Districts where the lot is greater than 10 acres, said structure shall not exceed 100 feet in height;
- Said structure shall be set back a minimum of 25 feet from the ordinary high-water mark of a navigable waterway except a minimum of a 50 foot setback is required from the ordinary high watermark of Lake Michigan;
- Said structure shall be located a minimum of 25 feet from wetlands on said property and at least 10 feet from wetlands on adjacent properties; and
- In no case shall an individual detached accessory structure exceed the first floor square foot area of the principal structure (excluding an attached garage or deck); except in the A-1, A-2, A-3, APO or AGO Districts.
- In no case shall an individual detached accessory structure exceed the height of the principal structure on said property; except in the A-1, A-2, A-3, APO and AGO Districts.

6. **If the structure is between 2,000 square feet and 5,000 square feet in area (first floor area not to exceed 5,000 square feet), then the following shall be required:**

- The lot shall be zoned A-1, A-2, A-3, APO or AGO and be a minimum of five acres (217,800 square feet);
- Said structure shall only be located in a side yard or rear yard, except if located within an A-1, A-2, APO or AGO District;
- Said structure shall be a minimum of 20 feet from a principal structure;
- Said structure shall be a minimum of 25 feet from any other accessory structure;
- Said structure shall be a minimum of 25 feet from any side lot line and a minimum of 50 feet from any rear lot line;
- Said structure shall not be used for human habitation;

- Said structure may be used for an animal shelter for animals specifically allowed in the A-1, A-2, A-3, APO or AGO Districts;
- Said structure shall not exceed 50 feet in height in the A-3 District or 100 feet in the A-1, A-2, APO or AGO Districts;
- Said structure shall be set back a minimum of 25 feet from the ordinary high-water mark of a navigable waterway except a minimum of a 50 foot setback is required from the ordinary high watermark of Lake Michigan; and
- Said structure shall be located a minimum of 25 feet from wetlands on said property.

**7. If the structure is larger than 5,000 square feet in area (first floor area not to exceed 5,000 square feet), then the following shall be required:**

- The lot shall be zoned A-1, A-2, APO or AGO and be a minimum of 10 acres (435,600 square feet);
- Said structure shall be a minimum of 20 feet from a principal structure;
- Said structure shall be a minimum of 25 feet from any other accessory structure;
- Said structure shall be a minimum of 25 feet from any side lot line and a minimum of 50 feet from the rear lot line;
- Said structure shall not be used for human habitation;
- Said structure may be used for an animal shelter for animals specifically allowed in the A-1, A-2, APO or AGO Districts;
- Said structure shall not exceed 100 feet in height;
- Said structure shall be set back a minimum of 25 feet from the ordinary high-water mark of a navigable waterway except a minimum of a 50 foot setback is required from the ordinary high watermark of Lake Michigan; and
- Said structure shall be located a minimum of 25 feet from wetlands on said property and at least 10 feet from wetlands on adjacent properties.

## **ZONING REQUIREMENTS FOR RESIDENTIAL COMMUNICATION STRUCTURES**

Radio and television transmission, receiving and relay towers, and aerials, including amateur "ham" radio and satellite and/or digital dishes **attached to the permitted principal structure**, may be erected to a height which exceeds the height limit established for said residential district, but in no instance shall the height exceed a maximum height of 10 feet above the roofline of said structure as measured from the roof ridge to the highest point of the antenna, including any additional aerials or projections. No more than one such structure may be attached to the permitted principal structure.

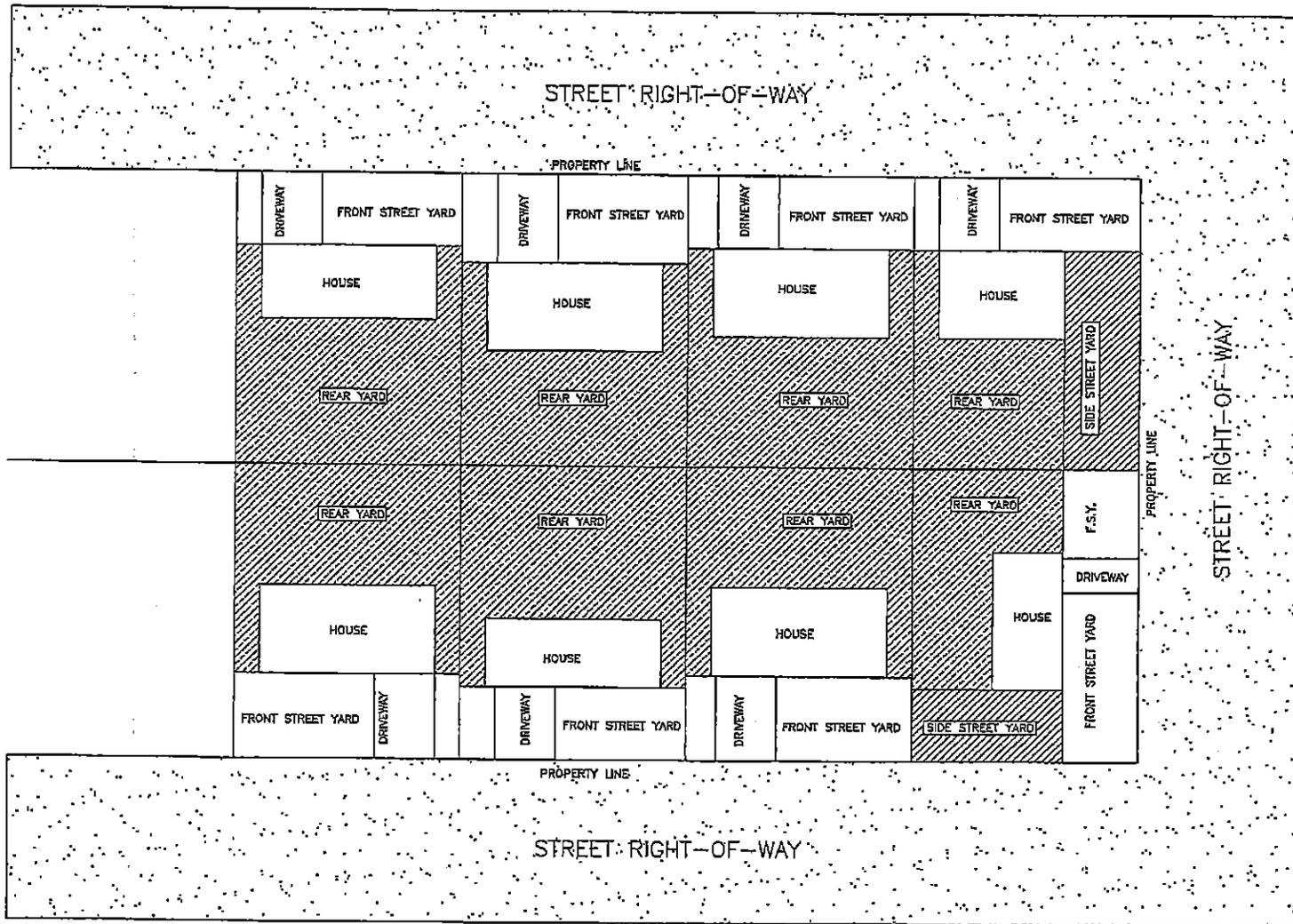
**Freestanding** radio and television transmission, receiving and relay towers, and aerials, including amateur "ham" radio and satellite and/or digital dishes, may be erected to a height which exceeds the height limit established for said residential district, but in no instance shall the height exceed the maximum height of 45 feet. The height is measured from the base of the structure to its highest point, including any additional aerials or projections. Said structure shall be located in the side or rear yard; for structures less than 35 feet in height, it shall be a minimum of 10 feet from any side or rear property line; for structures between 36 feet and the maximum height of 45 feet, it shall be a minimum of 15 feet from any side or rear property line; and guy wires shall not be allowed. The setback distance shall be measure from the furthest extent of the tower, its aerials, projections, or other equipment. No more than one such structure may be allowed on the property.

## **ZONING REQUIREMENTS FOR SPORT COURTS**

A sport court is a court located on a hard surface where its primary purpose is to play basketball, tennis, shuffleboard or other such sport or activity. A residential driveway shall not be considered a sport court.

- One sport court is allowed per property.
- The sport court shall be located in the side or rear property yard, provided that such court is 10 feet from the property line.
- All sport courts over 1,200 square feet shall be required to have a ten-foot-high heavy-duty sport net or a fence surrounding the court.
- If any sport court is proposed to be lit, such lights shall be directed downward and shielded so as not to shine or cause a glare onto adjacent properties and/or roadways.

ILLUSTRATION B (EXAMPLE ONLY)



**VILLAGE OF PLEASANT PRAIRIE**

VPP-COMDEV-0051-I YARD DEFINITION SHEET 1

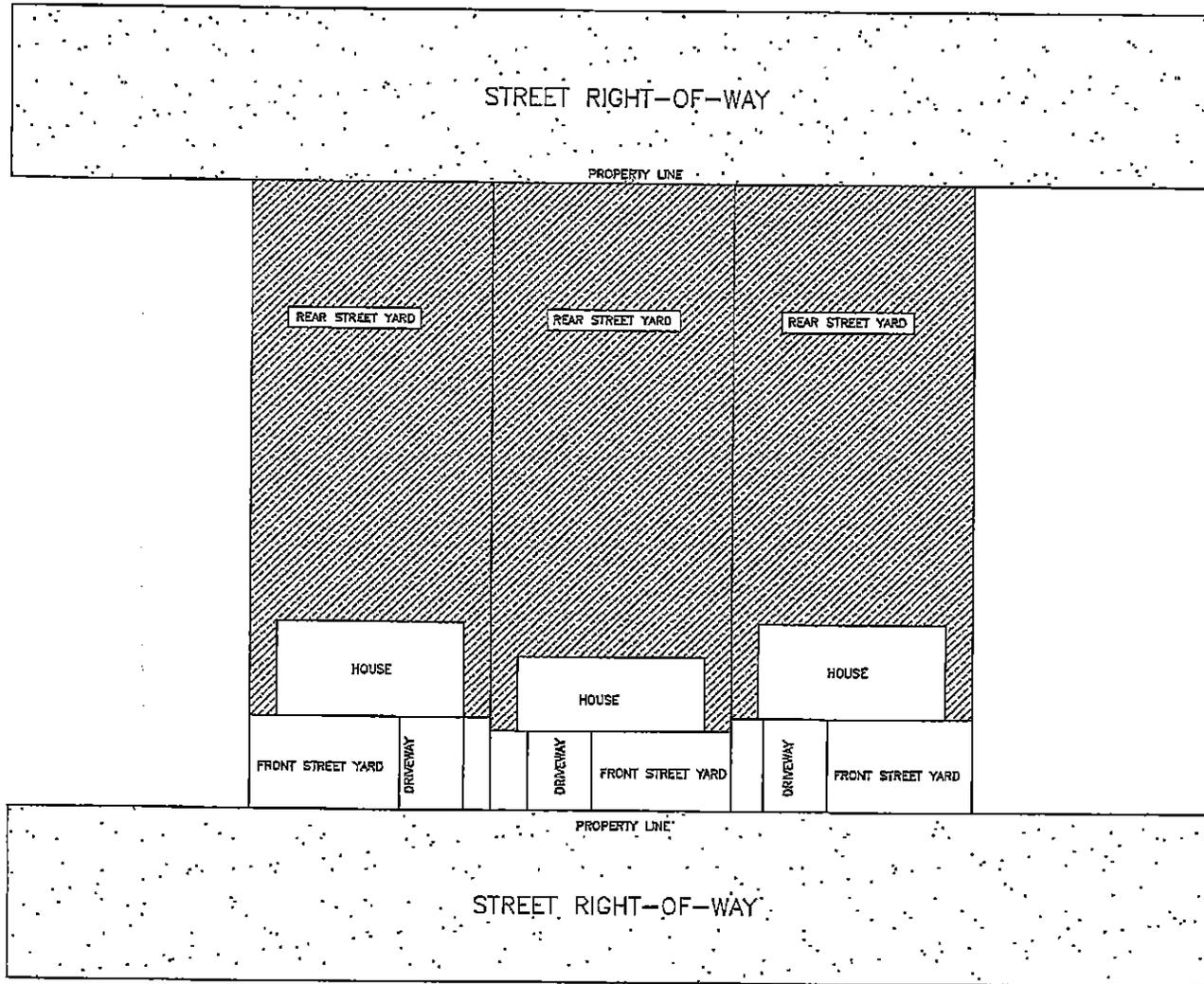
DATE: 2/1/05  
REVISED:

DRAWN BY: KEN ROBERS

SCALE: NTS

APPROVED BY:

ILLUSTRATION B (EXAMPLE ONLY)



**VILLAGE OF PLEASANT PRAIRIE**

VPP-COMDEV-0052-I YARD DEFINITION SHEET 2

DATE: 2/1/05  
REVISED:

SCALE: NTS

DRAWN BY: KEN ROBERS

APPROVED BY: